

# MEETING MINUTES

## MEETING INFORMATION

<b>MEETING NAME</b>	SPPL SD Meeting	<b>MEETING LOCATION</b>	Sun Prairie Public Library Community Room and Zoom
<b>MEETING DATE</b>	31 August 2023	<b>MEETING TIME</b>	1:00PM
<b>PROJECT NAME</b>	Sun Prairie Public Library Remodel and Addition		
<b>FEH PROJECT NUMBER</b>	2023402		
<b>PROJECT ADDRESS</b>	1350 Linnerud Drive, Sun Prairie WI 53590		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Svetha Hetzler	SPPL Director	608.825.0900	shetzler@cityofsunprairie.com
<input checked="" type="checkbox"/> Rex Owens	SPPL Board President	608.513.1551	rexowens00@gmail.com
<input checked="" type="checkbox"/> Theresa Stevens	SPPL Fdn Exec Director	608.886.0718	execdirector@sunlibfoundation.org
<input checked="" type="checkbox"/> Kim Bellmann	FEH Design	563.583.4900	kimb@fehdesign.com
<input checked="" type="checkbox"/> Brady Ludvik	FEH Design	262.968.2055	bradyl@fehdesign.com
<input checked="" type="checkbox"/> Sarah Jansen	FEH Design	262.968.2055	sarahjj@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563.583.4900	christym@fehdesign.com
<input checked="" type="checkbox"/> Brad Biddick	Design Engineers	608.424.8815	brad.biddick@designengineers.com
<input checked="" type="checkbox"/> Kevin M. Johnson	Hunzinger – Owner’s Rep	414.416.3377	kevinjohnson@hunzinger.com
<input checked="" type="checkbox"/> Kalib Hrbacek	Hunzinger – Owner’s Rep		khrbacek@hunzinger.com
<input checked="" type="checkbox"/> Steev Baker	SPPL	262.365.4614	sbaker@sunlib.org
<input checked="" type="checkbox"/> Lynn Montague	Youth Services - SPPL	608.825.0903	lmontague@cityofsunprairie.com
<input checked="" type="checkbox"/> Jan Holmes	Tech Coordinator - SPPL	608.837.7323x2032	jholmes@cityofsunprairie.com
<input checked="" type="checkbox"/> Kate Hull	Tech Services - SPPL	608.825.0901	khull@cityofsunprairie.com
<input checked="" type="checkbox"/> Erin Williams Hart	SPPL	608.825.0902	ewilliamshart@cityofsunprairie.com
<input type="checkbox"/> Steve Stocker	City of Sun Prairie Alderperson, Library Board Liaison	608.354.8511	sstocker@cityofsunprairie.com
<input checked="" type="checkbox"/> Terry McIlroy	City of Sun Prairie	608.354.8513	District1b@cityofsunprairie.com
<input type="checkbox"/> Sandy Xiong	City of Sun Prairie	608.825.0893	sxiong@cityofsunprairie.com
<input checked="" type="checkbox"/> Rose Daily	City Sustainability Coordinator	608.825.0931	rdaily@cityofsunprairie.com
<input checked="" type="checkbox"/> Caitlin Stene	Sun Prairie Dir. of Admin. Serv.	608.825.1175	cstene@cityofsunprairie.com
<input checked="" type="checkbox"/> Jeff Robbins	Sun Prairie Media Center	608.837.4193	jrobbins@cityofsunprairie.com

### 1) Goals for Success

- a) The goals were reviewed.

### 2) Timeline

- a) The change in the Schematic Design approval date will affect the overall project schedule.
- b) This can partially be made up by changing the cadence of the meetings or conducting some meetings virtually.

### 3) Sustainability Perspective

- a) Rose Daily presented information about the two different HVAC options (boiler/chiller and geothermal) using information on costs and incentives from Focus on Energy. There is a difference between the provided Focus on Energy costs and the anticipated costs in the Opinion of Probable Cost.

- b) The importance of considering costs over time was emphasized.
  - c) Geothermal uses ground temperatures to cool the air in summer and heat the air in winter
    - i) First cost – \$1,996,900
    - ii) Total cost (including equipment, utilities, and maintenance) - \$4,448,540
    - iii) The Inflation Reduction Act (IRA) could provide a 30% direct pay grant from the Federal Government for geothermal.
    - iv) Return on Investment – 18-20 years
      - (1) ROI with 30% IRA - 1.5-3.5 years
    - v) Life expectancy – 25 years for pump and 50+ years for ground loop
    - vi) This system would give 10 points in Energy & Atmosphere credits towards LEED certification – 75 points total are needed for LEED Gold.
    - vii) The City's goal is to achieve 100% renewable electricity for city operations by 2025.
    - viii) \$4.35 million – Line Item in the Opinion of Probable Cost.
  - d) VAV AHU
    - i) Gas boiler and air cooler chiller
    - ii) First cost – \$1,939,441
    - iii) Total cost (including equipment, utilities, and maintenance) – \$4,962,978
    - iv) ROI – 13-14 years
    - v) Life expectancy – 15 to 20 years
    - vi) \$3.4 million – Line Item in the Opinion of Probable Cost.
  - e) Others in the room anticipate the initial cost for geothermal to be closer to \$4.5 million, which would raise the amount of the grant for the IRA 30% direct pay to about \$1.4 million.
  - f) The project is eligible for the IRA credit because the project is under 1 megawatt.
  - g) Federal requirement would apply to the IRA funding. This would be Davis Bacon wage requirements and Buy American requirements. A secondary prime contract option may allow the project to follow federal requirements only for that portion of the project.
    - i) A meeting has been scheduled between the Sustainability Coordinator and Grants Coordinator with answers about federal funding requirements.
  - h) It was questioned whether maintenance people are readily available in the general area.
    - i) The equipment that needs maintenance would be the parts that are typical of HVAC systems and most companies could repair them.
  - i) Providing geothermal by alternate allows for the project to be more appealing to bidders and allows the city to keep their options open regarding cost. It will require outreach to potential bidders.
- 4) Opinion of Probable Cost**
- a) The project will need to go to the COW before the budget process in October.
  - b) If the IRA / Federal Funding requires Davis-Bacon wages, it would increase the project by 17-23%.
  - c) To combat inflation, cuts have been made to the sitework and the building.
  - d) The smart locker system cost can be removed from the project.
  - e) The microgrid and Focus on Energy incentives should be removed as credits.
  - f) The City could bond for more, and it would increase household costs by around \$25 annually.
  - g) The projected total cost after all plan changes have been made totals \$22,011,891.
  - h) It is important to avoid having too many alternates that complicate the bidding process.
  - i) The alternate to eliminate the atrium should be adjusted to a cost savings of \$700,000 since eliminating that element will require other costs.
- 5) Revised Schematic Design**
- a) Building Size
    - i) Media center adjusted to have the conference room and bathroom in the atrium.
    - ii) The plan was reduced by 2,120 SF.

- (1) Atrium reduced by 680 SF.
- (2) The building exterior was squared to reduce the footprint by 1,440SF.
- b) Youth shelving heights listed in the legend on sheet A10.1 are incorrect – the plan is labeled correctly.
- c) The band shell structure cost was capped at \$200,000.
- d) It was requested to move the Library of Things closer to the Adult Services desk for security purposes.
- e) Site Layout
  - i) The existing 22' driveway has been revised to 30' wide.
    - (1) The existing sidewalk on the east side of the drive lane should remain.
    - ii) The east parking lot entrance was removed.
- 6) Other items**
  - a) It was questioned when updated drawing of the band shell would be available.
    - i) It will take approximately 4 weeks to update the bandshell once the budget has been approved.
  - b) The community room will need to be available for the 2024 November election. This will need to be in the project timeline provided to bidders.
- 7) Next steps and assignments**
  - a) Special Library Board Meeting - August 31 @ 6:00PM
  - b) Next Chapter Team Meeting - September 14 at **1PM**
    - i) This may include review of building network infrastructure with IT staff.
  - c) Next Chapter Team Meeting to review finishes - September 28<sup>th</sup> at 12:00PM

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**ACTION ITEMS**

- 1. FEH Design
  - a. Adjust the Opinion of Probable Cost for the Library Board meeting later in the day.
- 2. SPPL
  - a. Field Trips to libraries and makerspaces

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For meeting minutes this is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued. No response will indicate acceptance by all parties.

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**WRITTEN BY** Christy Monk

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**NEXT MEETING** 14 September 2023, at 1PM

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**ATTACHMENTS** SD Packet (Abridged)

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**FEH** DESIGN

FEHDESIGN.COM

**SUN PRAIRIE PUBLIC LIBRARY**

SUN PRAIRIE, WISCONSIN

SCHEMATIC DESIGN BOOKLET

31 AUGUST 2023

**DRAFT**



## PROJECT DIRECTORY

### Sun Prairie Public Library

1350 Linnerud Drive  
 Sun Prairie, WI 53115  
 Svetha Hetzler – Library Director  
 Kevin Johnson – Owner’s Representative (FVM/Hunzinger)

### FEH Design

1241 Corporate Center Drive  
 Oconomowoc, WI 53590

Christy Monk	Principal in Charge	563 583 4900
Kim Bellmann	Architect	563 583 4900
Brady Ludvik	Architectural Designer	262 968 2055
Bryan Blair	Structural Engineer	563 583 4900
Elliot Carlovsky	Structural Designer	563 583 4900
Sarah Jansen	Interior Designer	262 968 2055
Ellie Wigginton	Interior Designer	563 583 4900

### Snyder & Associates

5010 Voges Road  
 Madison, WI 53718

Scott Anderson	Civil Engineer	608 838 0444
Andy Meessmann	Landscape Architect	608 838 0444

### Design Engineers

8215 Greenway Blvd, Suite 180  
 Middleton, WI 53562

Brad Biddick	Senior Electrical Consultant	608 424 8815
Allison Clemens	Mechanical Project Engineer	608 424 8815

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  - j. Demolition Plans
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  - m. Exterior Elevations
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## Authorization to Proceed

The undersigned representative for the Sun Prairie Public Library, acknowledges that the Schematic Design Documents, as compiled and attached hereto, have been received as complete and accurate, and authorize proceeding into the Design Development phase for the project.

Signature:

Date:



## GOALS FOR SUCCESS

- Ensure that we serve the community needs for the next 20 years
- Grow with Sun Prairie socio- economic needs
- Improve infrastructure for comfort, aesthetics, safety, and security
- Tie core values to physical space to reflect culture
- Provide adequate space to support collections and programs
- Consider flexible indoor spaces
- Include outdoor spaces
- Include collaborative Makerspace with the Sun Prairie Media Center
- Include space for Foundation Executive Director
- Include storage space
- Remove barriers to serve all members of our community
- Provide more flexible and equitable access
- Enhance the drive up window to serve patrons
- Be good stewards of financial, environmental, and cultural sustainability
- Ensure the Library is an essential destination
- Promote and foster life-long learning and creativity
- Create an environment that continues to be comfortable
- Maintain current integrity of our “GEM” inside and outside
- Create opportunities for exposure to local and national art
- Facilitate communication using technology
- Provide broad and diverse collection access for the community

## EXCERPT FROM SPACE NEEDS SUMMARY

### SUN PRAIRIE PUBLIC LIBRARY SPACE NEEDS SUMMARY

	Sq.ft.
ENTRY ARCADE / ATRIUM .....	5,900
WELCOME + ORIENTATION .....	4,809
ADULT SERVICES -- "THE HUB" .....	1,288
ADULT SERVICES -- FICTION .....	5,262
ADULT SERVICES -- MEDIA .....	1,307
ADULT SERVICES -- NONFICTION. ....	5,703
ADULT SERVICES -- DIGITAL .....	1,485
MAKER SPACE .....	2,316
TEEN SERVICES .....	3,495
YOUTH SERVICES -- CENTRAL .....	4,251
YOUTH SERVICES -- PRESCHOOL.ZONE .....	5,023
YOUTH SERVICES -- GRADE SCHOOL.ZONE .....	3,417
MEETING ROOMS .....	3,366
STAFF -- ADMINISTRATION .....	704
STAFF -- TECHNICAL SERVICES .....	1,562
STAFF -- NETWORK SERVICES .....	754
STAFF -- MAINTENANCE .....	253
STAFF -- OTHER .....	1,210
FRIENDS OF THE.LIBRARY. ....	1,089
SUN PRAIRIE MEDIA CENTER (SP.MC). ....	2,807
DESIGNATED NONASSIGNABLE .....	2,502
Sum of all department totals.....	58,500
Nonassignable / mech @ 5% of gross .....	3,441
Nonassignable / other @ 10% of gross .....	6,882
<b>GROSS AREA NEEDED. ....</b>	<b>68,823</b>

v1.0	69,314	Renovate existing	36,100
v1.1	69,124	Addition	23,000
v1.2	68,513	Arcade / atrium	5,900
v1.3	68,823		65,000
		105%	68,250
		110%	71,500

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# BUDGET OPINION

OPINION OF PROBABLE COST

Project Number: 2023402  
Phase: Schematic Design

Owner: City of Sun Prairie  
Project: Sun Prairie Public Library

Date : 8/29/23  
Estimator : KE

Updated  
Schematic Design 8/29/2023  
Conceptual Design 12/8/2021



DESCRIPTION	QTY	UNIT	COST/SF	TOTALS	TOTALS
<b>Building Construction Costs:</b>					
1 GENERAL REQUIREMENTS 8%, Overhead 5%, PROFIT 5%	1	LS		2,431,730	2,001,751
2 SITEWORK & UTILITIES & LANDSCAPING	1	LS		1,253,920	1,355,000
3 SELECTIVE DEMOLITION	1	LS		86,400	72,000
4 SUBSTRUCTURE	1	LS		474,946	395,955
5 SUPERSTRUCTURE	1	LS		1,307,510	795,000
6 EXTERIOR ENCLOSURE	1	LS		1,156,483	830,205
7 ROOFING	1	LS		791,070	550,000
8 INTERIOR CONSTRUCTION	1	LS		1,427,735	1,040,870
9 SPECIALTIES AND EQUIPMENT	1	LS		142,350	125,024
10 CONVEYING SYSTEMS	1	LS		0	0
11 FIRE PROTECTION	1	LS		137,300	120,000
12 PLUMBING	1	LS		243,400	225,000
13 MECHANICAL HVAC	1	LS		3,398,600	2,088,850
14 ELECTRICAL, MICROGRID, PHOTOVOLTAIC	1	LS		2,524,300	1,942,550
15 SECURITY	1	LS		200,000	123,200
16 VOICE, DATA, SPECIAL SYSTEMS & TELECOMMUNICATIONS	1	LS		370,200	345,100
			SubTotal	15,945,944	12,010,505
			Microgrid Alternate with Overhead and Profit	517,500	
			With 10% 2022 Inflation	13,780,805	
			With 6% 2023 Inflation	14,607,654	
			With 3% 2024 Inflation	15,045,883	
			Design / Bid Contingency 10%	1,594,594	1,504,588
			<b>Building Construction Costs SubTotal</b>	17,540,538	16,550,472
			Construction Contingency 5%	877,027	827,524
			<b>BUILDING CONSTRUCTION COST TOTAL</b>	<b>\$18,417,565</b>	<b>\$17,377,995</b>

<b>Soft Costs:</b>					
40.40 Hazard Material survey, sample, test	0	LS	3,500.00	0	0
40.50 Hazardous material abatement	0	SF	4.00	0	0
40.60 Legal Fees	1	LS	10,000.00	10,000	10,000
40.70 Ownership and Deconstruction Insurance	1	LS	5,000.00	5,000	0
40.80 Phase 1 Environmental Study	1	LS	5,000.00	5,000	0
40.90 Phase 1 Archeological Study	1	LS	5,000.00	5,000	0
40.10 Final Equipment and Utility connections on site	1	LS	5,000.00	5,000	0
41.00 Professional Fees: Civil Engineering	1	LS	87,000.00	87,000	62,987
41.01 Professional Fees: Landscape Architecture	1	LS	17,000.00	17,000	25,195
41.02 Professional Fees: Programming	1	LS	30,000.00	30,000	30,000
41.03 Professional Fees: MEP Engineering	1	LS	370,000.00	370,000	314,935
41.04 Professional Fees: Data, security, access control audio	1	LS	20,000.00	20,000	29,520
41.05 Professional Fees: PV Design	1	LS	12,000.00	12,000	0
41.06 Professional Fees: Architecture/Interior Design	1	LS	720,030.00	720,030	730,655
41.07 Professional Fees: Structural Engineering	1	LS	143,970.00	143,970	125,974
41.30 Design Team Reimbursable Expenses	1	LS	18,000.00	18,000	18,000
41.40 Fundraising Feasibility Study	1	LS	0.00	0	0
41.50 Sustainability Design Fees	1	LS	50,000.00	50,000	50,000
41.60 Owner's rep/Construction Management Services (Design and Construction)	1	LS	400,000.00	400,000	719,850
41.60 Commissioning	1	LS	30,000.00	30,000	30,000
41.80 LEED certification fees from USGBC	1	LS	12,000.00	12,000	12,000
41.10 Furnishings Design, selection, bidding Fees,	1	LS	150,000.00	150,000	159,016
41.11 Geo Thermal Test Well	1	LS	12,000	12,000	12,000
41.12 Topographical Site Survey \$6k, CSM Certified Survey Map \$5k	1	LS	11,000.00	11,000	6,500
41.13 Geotechnical subsurface investigation;	1	LS	5,200.00	5,200	7,500
41.14 Quality Control Material Testing & Inspections	1	LS	30,000.00	30,000	30,000
42.00 Printing, shipping, & plan room Costs for Construction Documents	1	LS	11,000.00	11,000	11,000
43.00 State Construction documents review Fees	1	LS	10,000.00	10,000	0
44.00 City Plan Review Permits and Fees	1	LS	10,000.00	10,000	10,000
45.00 Builders Risk Insurance	1	LS	7,000.00	7,000	7,000
46.00 Construction Utility costs by Owner	1	LS	10,000.00	10,000	10,000
47.00 Fixtures, Furnishings, blinds, & Equip Allowance \$28/SF new	24,915	SF	28.00	697,620	711,200
47.00 Fixtures, Furnishings, blinds, & Equip Allowance \$14/SF Existing	36,143	SF	14.00	506,002	512,000
47.10 Appliances: fridge, coffee maker, ice maker, cooler	10	EA	750.00	7,500	0
48.00 Technology & Computer Equipment Allowance, (less use of existing)	22,085	SF	13.50	298,148	369,000
51.00 Moving costs for multiple phases of construction	1	LS	50,000.00	50,000	40,000
52.00 Ground breaking and dedication ceremonies	1	LS	3,000.00	3,000	3,000
53.00 Fundraising Consult anting & grant writing	1	LS	0.00	0	0
54.00 Soft Costs Contingency	1	LS	150,000.00	150,000	0
55.00 Microgrid Federal Grant	1	LS	(341,338.00)	(341,338)	0
56.00 Focus on Energy Incentive	1	LS	(22,805.00)	(22,805)	0
57.00 Smart Locker System	1	LS	50,000.00	50,000	50,000
			Soft Cost SubTotal	3,594,327	4,097,332
			With 10% 2022 Inflation		4,507,065
			With 6% 2023 Inflation		4,777,489
			With 3% 2024 Inflation		4,920,814
			<b>Building Construction Cost Total</b>	<b>18,417,565</b>	<b>17,377,995</b>
			<b>PROJECT TOTAL COST</b>	<b>\$22,011,891</b>	<b>\$22,298,809</b>

Updated Budget is based on the following UPDATED Schematic Design Drawings (Site and Architectural Plans and Elevations dated 8/29/2023) which includes:

- Addition Size Reduction
- Reduced Parking Lot Expansion
- Reduced Sidewalk / Paving
- Cap of \$200,000 for Amphitheater Structure and Lighting
- Elimination of Second Drive Lane
- Reduction in Size of Atrium

Optional Alternates

1. Bird Safety Glazing	\$	360,000.00
2. Geothermal Building System (System and Design Fees) if test well passes	\$	1,100,000.00
3. Net Zero Building	To Be Determined	
4. Eliminate Atrium Beyond Reduced Size Shown	\$	<del>(835,000.00)</del> (\$700,000)
5. Community Room Arcade Access	\$	90,000.00

Previous, conceptual budget of \$19,988,281 excluded the following options:

- Microgrid
- Energy Efficiency Extents
- Owner's Rep Services
- Full building mechanical upgrades

These have been added to the project scope as part of the schematic design discussions.

Conceptual design included 3% inflation per year. Actual inflation in 2022 was 10%, 2023 is 6%, and 2024 is anticipated at 3%.

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# PROJECT TIMELINE

## SPPL PROJECT TIMELINE



Board meetings second Thursday of the month

ACTIVITY		
Client Project Kickoff Meeting Start	4/12/2023	
Program meeting	4/26/2023	9am
Program meeting	5/8/2023	9am
<b>Schematic Design (3 months)</b>	<b>5/16/2023</b>	
Core Planning Meeting	5/25/2023	12-2PM
<b>Finalize programming/space planning</b>	<b>6/8/2023</b>	<b>Library Board Meeting @ 6PM</b>
Core Planning Meeting	6/8/2023	12-2PM
Core Planning Meeting	6/22/2023	12-2PM - Review Ampitheater Layout
Core Planning Meeting	7/6/2023	12-2PM
Core Planning Meeting	7/20/2023	12-2PM
Staff Meeting	7/24/2023	1PM
Staff Meeting	7/27/2023	9AM
Core Planning Meeting	8/3/2023	12-2PM VIRTUAL
Internal Quality Review	8/3/2023	
<b>Schematic Design Complete</b>	<b>8/10/2023</b>	<b>Amphitheater and Maker's space layout for fundraising / Library Board Meeting @ 6PM</b>
Design Development Start	8/11/2023	
Committee of the Whole	8/15/2023	5:30PM
Core Planning Meeting	8/17/2023	12-2PM
Core Planning Meeting	8/31/2023	12-2PM
Core Planning Meeting	9/14/2023	12-2PM
Core Planning Meeting	9/28/2023	12-2PM
Core Planning Meeting	10/12/2023	12-2PM
Core Planning Meeting	10/26/2023	12-2 PM
Core Planning Meeting	11/2/2023	12-2PM VIRTUAL
Internal Quality Review	11/2/2023	
<b>Design Development Complete</b>	<b>11/9/2023</b>	<b>Library Board Meeting @ 6PM</b>
Contract Documents Start	11/9/2023	12-2PM
Core Planning Meeting - As Needed	11/23/2023	12-2PM
Core Planning Meeting	12/7/2023	12-2PM

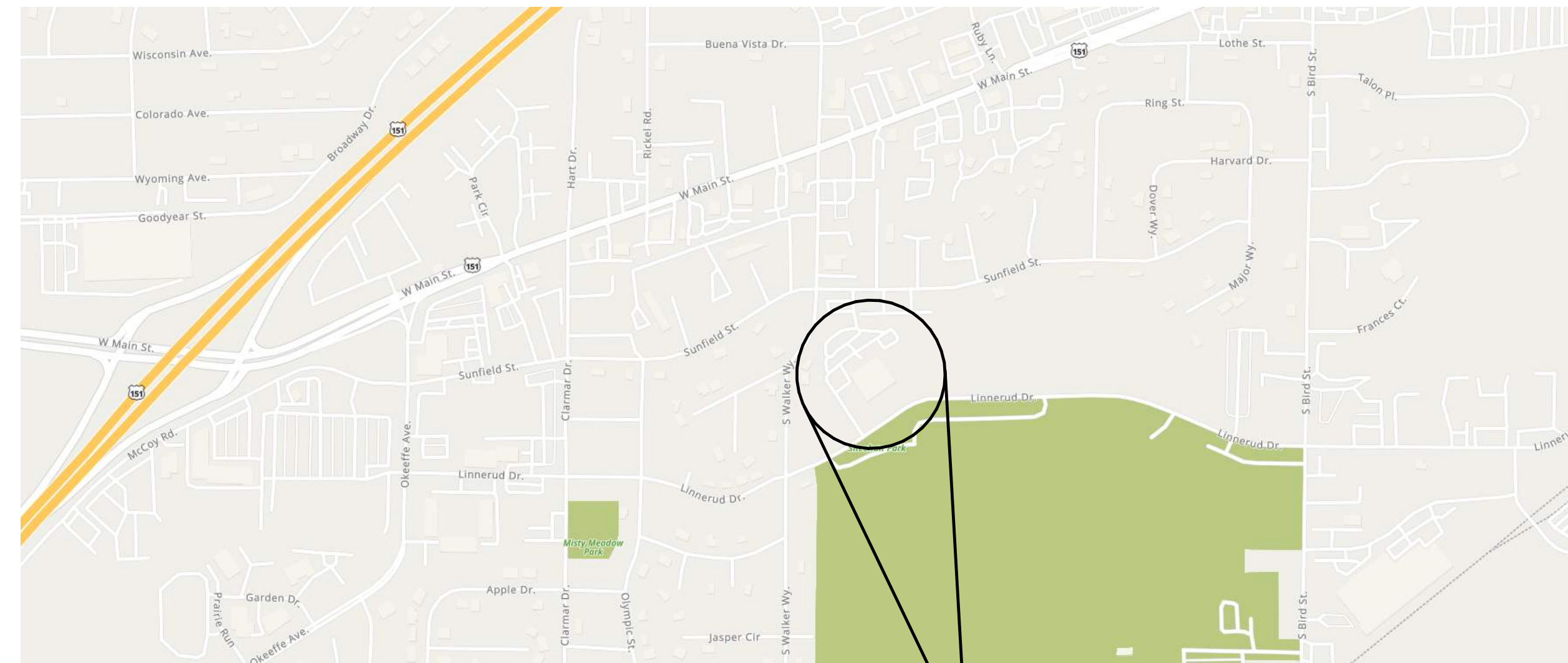
ACTIVITY	START	NOTES
Core Planning Meeting	12/21/2023	12-2PM
Core Planning Meeting	1/4/2024	12-2PM
Core Planning Meeting	1/18/2024	12-2PM
Core Planning Meeting	1/25/2024	12-2PM VIRTUAL
Internal Quality Review	1/25/2024	
<b>Contract Documents Complete</b>	<b>2/9/2024</b>	<b>Library Board Meeting @ 6PM</b>
Library Board Approval to Issue Drawings	2/8/2024	
City Council Approval to Issue Drawings	2/21/2024	
<b>Issue drawings to Bid</b>	<b>2/23/2024</b>	
Receive Bids	3/19/2024	
<b>Recommendation to Award</b>	<b>4/12/2024</b>	<b>Library Board Meeting @ 6PM</b>
City Council Approval of Award	4/17/2024	(If Needed)
Start Construction process (13 months)	4/30/2024	
Groundbreaking Ceremony	June 2024	
Ongoing Bi-Weekly Progress Meetings		
Substantial Completion	5/30/2025	
Furniture Installation	6 weeks	
Final Completion Date	7/18/2025	
Technology Installation	4 weeks	
Move	August 2025	
Grand Opening and Dedication	September 2025	

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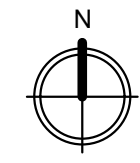
# CITY OF SUN PRAIRIE SUN PRAIRIE PUBLIC LIBRARY REMODEL AND ADDITION

1350 LINNERUD DRIVE  
SUN PRAIRIE, WI

ISSUED FOR: SCHEMATIC DESIGN



VICINITY MAP  
NOT TO SCALE



PROJECT LOCATION

#### CONTACT INFORMATION

##### ARCHITECT

FEH DESIGN  
951 MAIN STREET  
DUBUQUE, IOWA 52001

PH: (563)583-4900

##### STRUCTURAL

FEH DESIGN  
951 MAIN STREET  
DUBUQUE, IOWA 52001

PH: (563)583-4900

##### MECHANICAL

DESIGN ENGINEERS  
8215 GREENWAY BLVD SUITE 180  
MADISON, WI 53717

PH: (608)424-8815

##### ELECTRICAL

DESIGN ENGINEERS  
8215 GREENWAY BLVD SUITE 180  
MADISON, WI 53717

PH: (608)424-8815

##### CIVIL

SNYDER AND ASSOCIATE  
5010 VOGES ROAD  
MADISON, WI 53718

PH: (608)838-0444

#### SHEET INDEX

GENERAL	
TS	TITLE SHEET
AG1.1	GENERAL NOTES AND LEGENDS
AG1.2	BUILDING CODE PLAN
CIVIL	
C100	NOTES
C200	EXISTING SITE & DEMO PLAN
C300	PROPOSED SITE
C400	GRADING PLAN
C401	UTILITY PLAN
C500	MISC. DETAILS
LANDSCAPE	
L100	LANDSCAPE NOTES
L200	PLANTING PLAN
L300	HARDSCAPE PLAN
L301	HARDSCAPE PLAN
ARCHITECTURAL	
AD1.0	DEMOLITION PLANS
A1.1	FLOOR PLAN
A2.1	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A7.0	3D VIEWS
A8.1	REFLECTED CEILING PLANS
A10.1	FURNITURE LAYOUT PLANS
HVAC	
HVAC-A1.1	HVAC LAYOUT - FLOOR PLAN
HVAC-A2.1	HVAC LAYOUT - ROOF PLAN
ELECTRICAL	
E1	SCHEMATIC POWER DISTRIBUTION CONCEPT



IN ASSOCIATION WITH

SHEET TITLE  
TITLE SHEET

PROJECT TITLE  
CITY OF SUN PRAIRIE  
SUN PRAIRIE PUBLIC LIBRARY  
REMODEL AND ADDITION  
1350 LINNERUD DRIVE  
SUN PRAIRIE, WI

DATE ISSUED 08/29/2023  
REV. NO. DATE

PROJECT NUMBER  
2023402

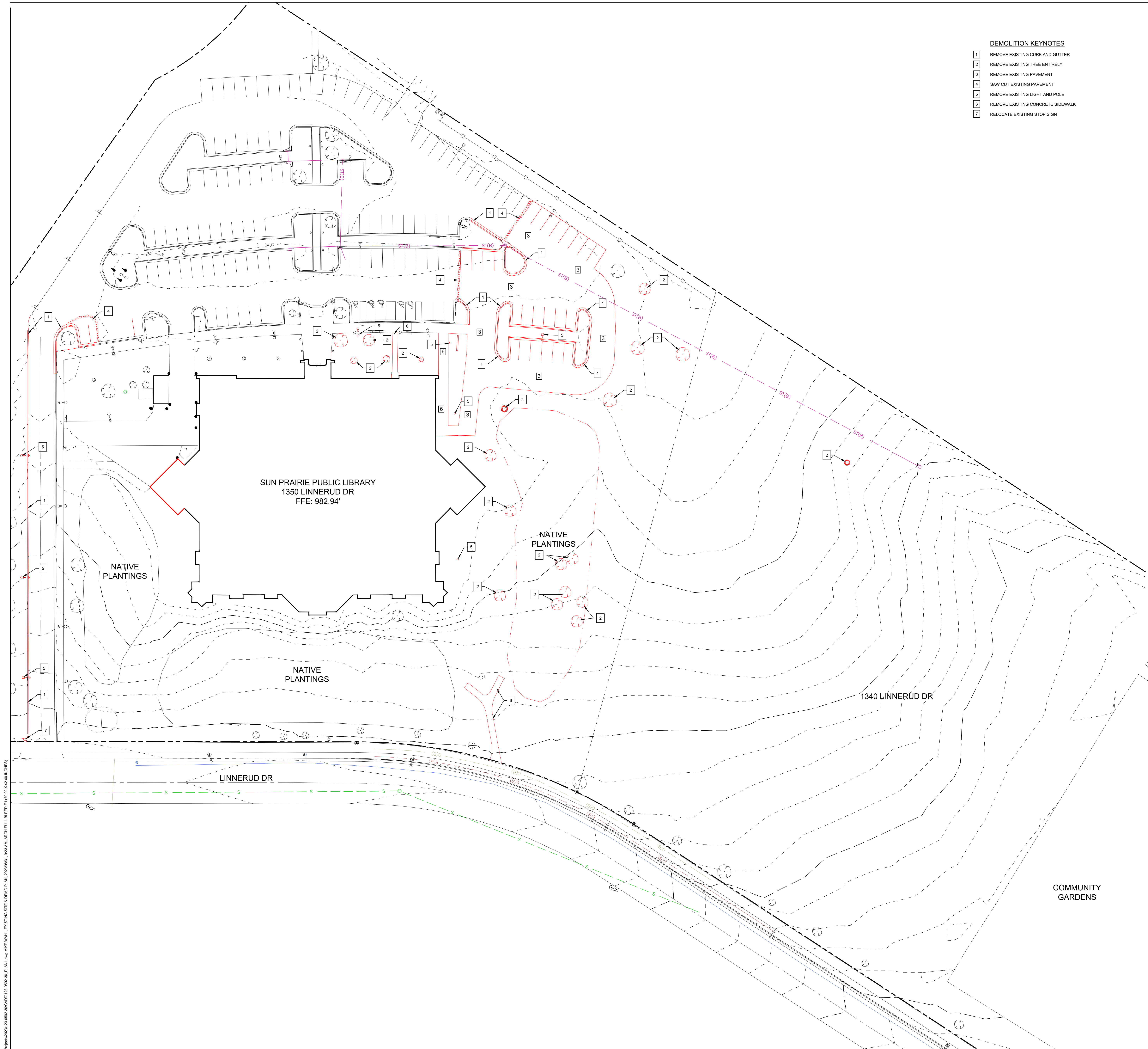
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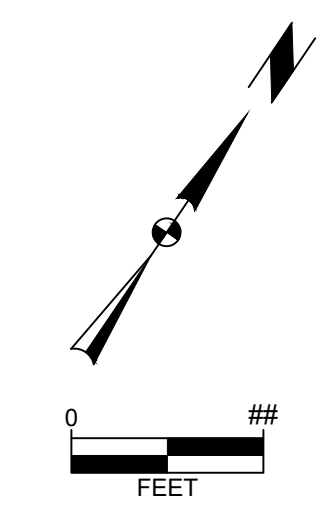
- DEMOLITION KEYNOTES**
- 1 REMOVE EXISTING CURB AND GUTTER
  - 2 REMOVE EXISTING TREE ENTIRELY
  - 3 REMOVE EXISTING PAVEMENT
  - 4 SAW CUT EXISTING PAVEMENT
  - 5 REMOVE EXISTING LIGHT AND POLE
  - 6 REMOVE EXISTING CONCRETE SIDEWALK
  - 7 RELOCATE EXISTING STOP SIGN

**LEGEND**

- FEATURES**
- Section Corner
  - 1/2" Rebar, Cap # 11579 (Unless Otherwise Noted)
  - ROW Marker
  - ROW Rail
  - Control Point
  - Bench Mark
  - Platted Distance
  - Measured Bearing & Distance
  - Recorded As
  - Deed Distance
  - Calculated Distance
  - Minimum Protection Elevation
  - Centerline
  - Section Line
  - 1/4 Section Line
  - 1/4 1/4 Section Line
  - Easement Line
- EXISTING**
- Spot Elevation
  - Contour Elevation
  - Fence (Barbed, Field, Hog)
  - Fence (Chain Link)
  - Fence (Wood)
  - Fence (Silt)
  - Tree Line
  - Tree Stump
  - Deciduous Tree \ Shrub
  - Coniferous Tree \ Shrub
  - Communication
  - Overhead Communication
  - Fiber Optic
  - Underground Electric
  - Overhead Electric
  - Gas Main with Size
  - High Pressure Gas Main with Size
  - Water Main with Size
  - Sanitary Sewer with Size
  - Duct Bank
  - Test Hole Location for SUE w/ID

- FOUND**
- Section Corner
  - 1/2" Rebar, Cap # 11579
  - ROW Marker
  - ROW Rail
  - Control Point
  - Bench Mark
  - Platted Distance
  - Measured Bearing & Distance
  - Recorded As
  - Deed Distance
  - Calculated Distance
  - Minimum Protection Elevation
  - Centerline
  - Section Line
  - 1/4 Section Line
  - 1/4 1/4 Section Line
  - Easement Line
- PROPOSED**
- Spot Elevation
  - Contour Elevation
  - Fence (Barbed, Field, Hog)
  - Fence (Chain Link)
  - Fence (Wood)
  - Fence (Silt)
  - Tree Line
  - Tree Stump
  - Deciduous Tree \ Shrub
  - Coniferous Tree \ Shrub
  - Communication
  - Overhead Communication
  - Fiber Optic
  - Underground Electric
  - Overhead Electric
  - Gas Main with Size
  - High Pressure Gas Main with Size
  - Water Main with Size
  - Sanitary Sewer with Size
  - Duct Bank
  - Test Hole Location for SUE w/ID

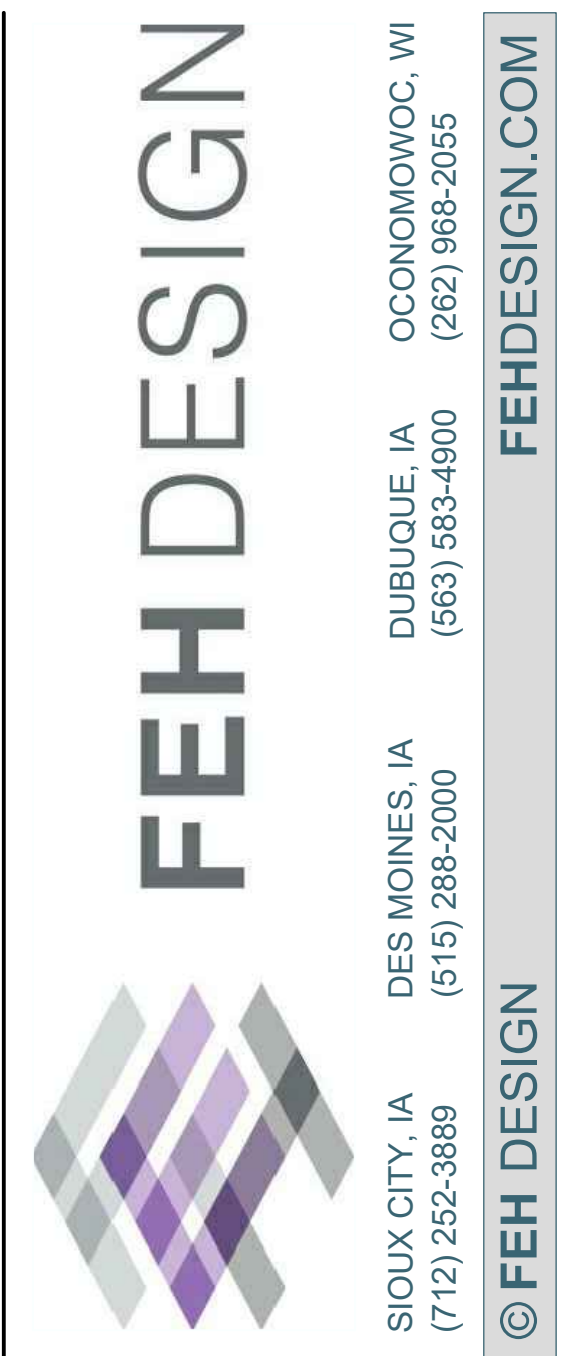
- Sanitary Manhole**
- Storm Sewer with Size
  - Storm Manhole
  - Single Storm Sewer Intake
  - Double Storm Sewer Intake
  - Fire Hydrant
  - Fire Hydrant on Building
  - Water Main Valve
  - Water Service Valve
  - Well
  - Utility Pole
  - Guy Anchor
  - Utility Pole with Light
  - Utility Pole with Transformer
  - Street Light
  - Yard Light
  - Electric Box
  - Electric Transformer
  - Traffic Sign
  - Communication Pedestal
  - Communication Manhole
  - Communication Handhole
  - Fiber Optic Manhole
  - Fiber Optic Handhole
  - Gas Valve
  - Gas Manhole
  - Gas Apparatus
  - Fence Post or Guard Post
  - Underground Storage Tank
  - Above Ground Storage Tank
  - Sign
  - Satellite Dish
  - Mailbox
  - Sprinkler Head
  - Irrigation Control Valve
  - Soil Boring
- Elevation**
- EL: 1225.25
- Section Number**
- Drawing Number
- Removal Items**
- 



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



**SNYDER & ASSOCIATES**  
651 AVOCES RD  
MADISON, WI 53718  
(608) 838-0444  
WWW.SNYDER-ASSOCIATES.COM

**EXISTING SITE & DEMO PLAN**

**SUN PRAIRIE LIBRARY**  
1350 LINNERUD DR.  
SUN PRAIRIE, WISCONSIN

DATE ISSUED  
AUGUST 31, 2023

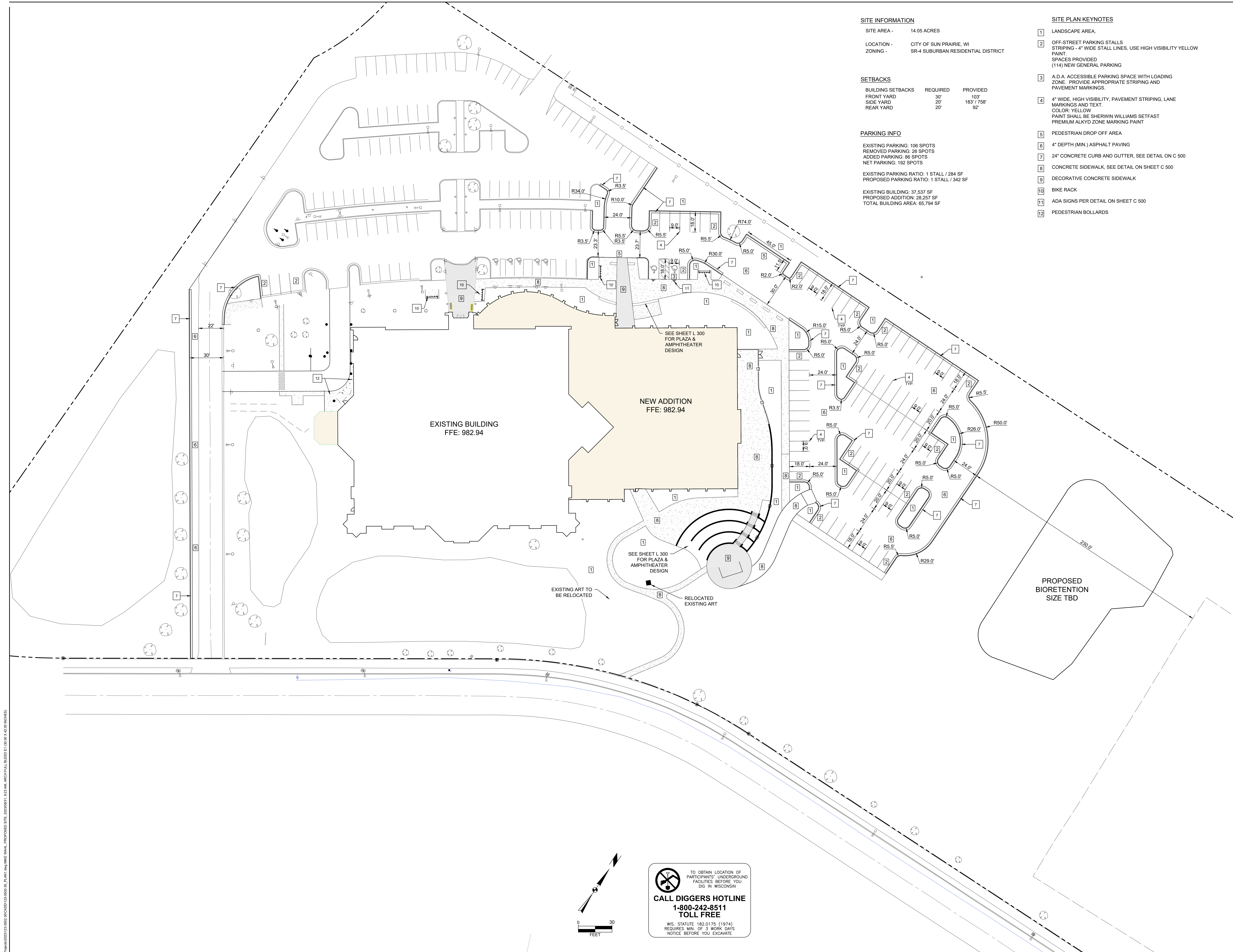
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123.0502.30

SHEET

C 200

V:\Projects\2023\123.0502.30\CADD\123.0502.30\_Plan\_1.dwg DATE PLOT: 2023/08/31 10:42:00 AM ARCH FULL BLEED (1) (8.5" X 11" INCHES)





**SITE INFORMATION**

SITE AREA - 14.05 ACRES  
 LOCATION - CITY OF SUN PRAIRIE, WI  
 ZONING - SR-4 SUBURBAN RESIDENTIAL DISTRICT

**SETBACKS**

BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT YARD	30'	103'
SIDE YARD	20'	183' / 758'
REAR YARD	20'	92'

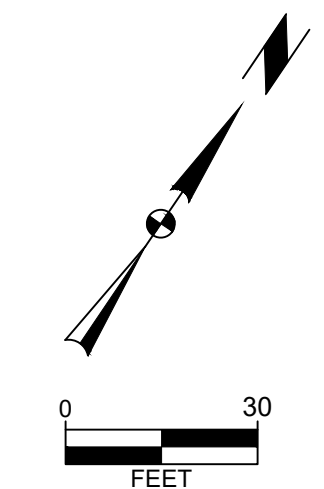
**PARKING INFO**

EXISTING PARKING: 106 SPOTS  
 REMOVED PARKING: 26 SPOTS  
 ADDED PARKING: 86 SPOTS  
 NET PARKING: 192 SPOTS  
 EXISTING PARKING RATIO: 1 STALL / 284 SF  
 PROPOSED PARKING RATIO: 1 STALL / 342 SF  
 EXISTING BUILDING: 37,537 SF  
 PROPOSED ADDITION: 28,257 SF  
 TOTAL BUILDING AREA: 65,794 SF

**SITE PLAN KEYNOTES**

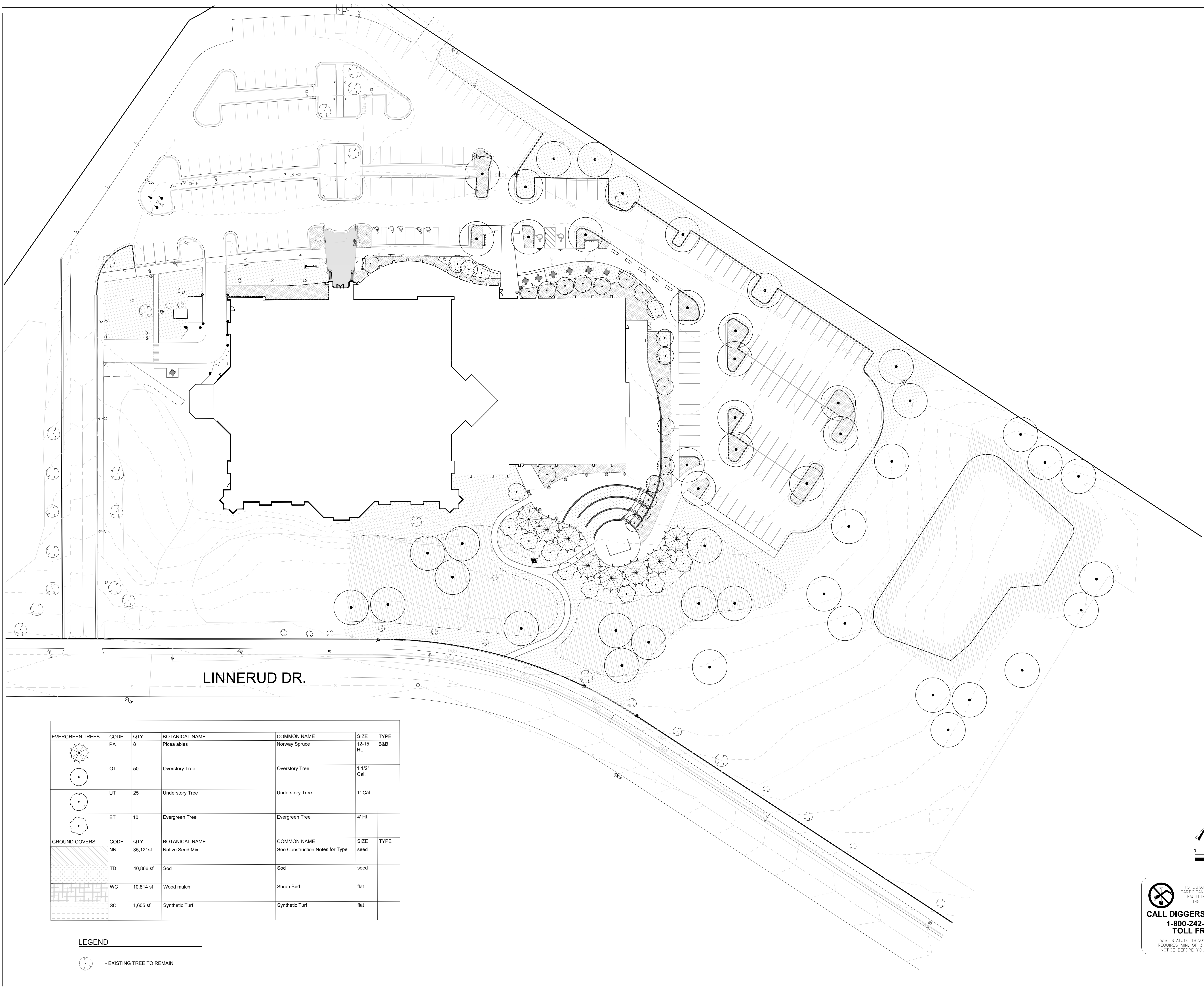
- 1 LANDSCAPE AREA.
- 2 OFF-STREET PARKING STALLS STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY YELLOW PAINT. SPACES PROVIDED (114) NEW GENERAL PARKING
- 3 A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
- 4 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: YELLOW PAINT SHALL BE SHERWIN WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT
- 5 PEDESTRIAN DROP OFF AREA
- 6 4" DEPTH (MIN.) ASPHALT PAVING
- 7 24" CONCRETE CURB AND GUTTER. SEE DETAIL ON C 500
- 8 CONCRETE SIDEWALK. SEE DETAIL ON SHEET C 500
- 9 DECORATIVE CONCRETE SIDEWALK
- 10 BIKE RACK
- 11 ADA SIGNS PER DETAIL ON SHEET C 500
- 12 PEDESTRIAN BOLLARDS

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
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V:\Projects\2023\123.0502.30\CADD\123.0502.30\_Plan\_1.dwg (MEE:MMH) - PROPOSED SITE - 20230831 9:23 AM - ARCHPLOT.BREED1 (18.00 X 42.00 INCHES)

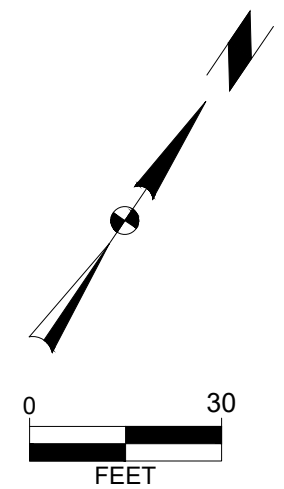




LINNERUD DR.

EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
	PA	8	Picea abies	Norway Spruce	12-15' Ht.	B&B
	OT	50	Overstory Tree	Overstory Tree	1 1/2' Cal.	
	UT	25	Understory Tree	Understory Tree	1" Cal.	
	ET	10	Evergreen Tree	Evergreen Tree	4' Ht.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
	NN	35,121sf	Native Seed Mix	See Construction Notes for Type	seed	
	TD	40,866 sf	Sod	Sod	seed	
	WC	10,814 sf	Wood mulch	Shrub Bed	flat	
	SC	1,605 sf	Synthetic Turf	Synthetic Turf	flat	

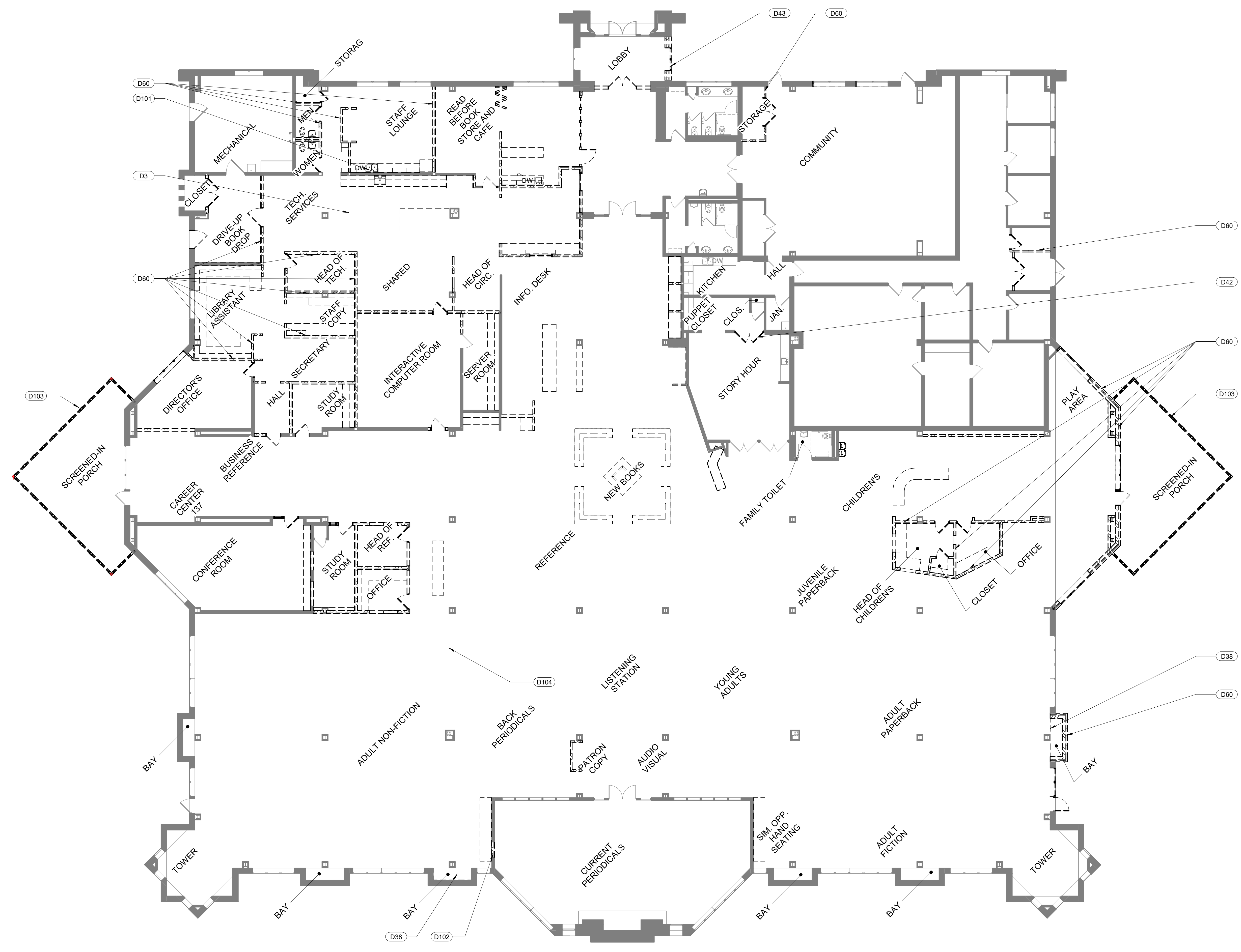
**LEGEND**  
 - EXISTING TREE TO REMAIN



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES, BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
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**TOLL FREE**  
WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK-DAY'S NOTICE BEFORE YOU EXCAVATE

V:\Projects\2023\123.0502.30\CADD\123.0502.30\_LAND\_PLAN.dwg (MKE) MHL PLANTING PLAN\_20230831\_9:22 AM ARCH PLOT BLEED E1 (8.00x4.50) INCHES





KEYNOTES	
D3	REMOVE EXISTING CEILING TILE AND GRID
D38	REMOVE EXISTING COUNTERTOP
D42	REMOVE EXISTING DOOR
D43	REMOVE EXISTING WINDOW
D60	REMOVE EXISTING WALL
D101	REMOVE EXISTING PLUMBING FIXTURE
D102	CUT NEW OPENING IN EXISTING WALL; SEE NEW CONSTRUCTION DRAWING FOR SIZE AND LOCATION
D103	REMOVE EXISTING PORCH
D104	EXISTING CEILING GRID TO REMAIN

1 DEMO PLAN - MAIN FLOOR  
SCALE: 3/32" = 1'-0"

**ARCHITECTURAL DEMOLITION NOTES**

1. THE CONTRACTOR SHALL EXAMINE SITE AND PORTIONS THEREOF TO ASCERTAIN AND CHECK ALL EXISTING CONDITIONS AND DIMENSIONS WHICH MAY AFFECT THE CONTRACTOR'S WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN THE CONTRACTOR'S BEHALF FOR ANY EXPENSE TO WHICH THE CONTRACTOR MAY BE LIABLE DUE TO FAILURE OR NEGLIGENCE ON ONE'S PART TO MAKE AN EXAMINATION. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE ARCHITECT PRIOR TO BID SUBMISSION.
2. CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DUST AND NOISE TO SURROUNDING PROPERTIES. SITE ACCESS SHALL BE LIMITED TO LOCATIONS SHOWN OR COORDINATED WITH OWNER.
3. PROVIDE PLASTIC SHEETS (OR OTHER) FOR SAFETY AND PROTECTION FROM NOISE, DUST, ETC. OF OCCUPIED AREAS DURING CONSTRUCTION AND DEMOLITION. PROVIDE RATED SEPARATION WHERE REQUIRED.
4. REMOVE PORTIONS OF EXISTING CONSTRUCTION AS NOTED ON THE DRAWINGS AND AS NECESSARY TO ACCOMMODATE THE NEW CONSTRUCTION AND REPLACE OR REPAIR AS NEEDED.
5. CONTRACTOR NOTE: SOME ANCILLARY/MINOR DEMOLITION AND PATCH/REPAIR MAY NOT BE SHOWN SPECIFICALLY. CONTRACTOR SHALL PROVIDE AND COORDINATE ALL ANCILLARY/MINOR WORK REQUIRED TO COMPLETE NEW WORK AS DESIGNED. VERIFY CONDITIONS WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
6. THE CONTRACTOR IS CAUTIONED THAT THIS PROJECT INVOLVES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF THE WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED AS PART OF THE CONTRACT AND INCLUDED IN THE BID.
7. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CONSTRUCTION REPRESENTATIVE IMMEDIATELY OF ANY UTILITIES NOT IDENTIFIED FOUND IN CONSTRUCTION TO BE REMOVED.
8. ANY ITEMS DESCRIBED IN THESE DRAWINGS WITHOUT A "NEW" (N) OR "EXISTING" (E) DESIGNATION SHALL BE CONSIDERED NEW.
9. EXISTING BUILDING DIMENSIONS AS SHOWN ON THE PLANS MAY DIFFER PLUS OR MINUS. FIELD VERIFY.
10. WHERE INDICATED ON THE PLANS, ALIGN NEW WALLS WITH THE FACE OF EXISTING WALLS. COLUMNS AND FURRING FOR A FLUSH CONDITION. REPAIR, PATCH AND FINISH EXISTING WALLS WHICH ABUTS NEW WALLS.
11. WHERE NEW OPENINGS OCCUR AT EXISTING FRAMED WALLS, FIELD VERIFY EXISTING WALL THICKNESS. NEW WALL TO BE FURRED AS NEEDED TO MATCH EXISTING WALL CONSTRUCTION THICKNESS.
12. PREPARE SURFACES TO RECEIVE FINISHES. PATCH ALL EXISTING WORK ALTERED BY NEW CONSTRUCTION. ALL NEW AND PATCHED SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS AND IN PROPER CONDITION TO RECEIVE THE FINISH PER THE PROJECT MANUAL. IN PATCHED AREAS OR ANY AREA WHERE A FINISH IS NOT IDENTIFIED, THE AREA SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR, TEXTURE, AND MANUFACTURE. ANY EXISTING FLOOR TILES, WALL TILES, ETC. WHICH ARE DAMAGED OR STAINED, ETC. SHALL BE REMOVED AND REPLACED AS NECESSARY WITH NEW MATCHING MATERIAL.
13. FASTENER ATTACHMENTS ONTO EXISTING CONCRETE SURFACES: DO NOT DRILL OR EXTENDS EMBEDDED REINFORCEMENT BARS LOCATE EXISTING REINFORCEMENT BARS WITH SONOTUBE PRIOR TO INSTALLING FASTENERS TO AVOID DAMAGING EXISTING REINFORCEMENT BARS.
14. THE EXISTING OCCUPANTS INTEND TO OCCUPY A DESIGNATED PORTION OF THE BUILDING AND MAINTAIN OPERATIONS. SUBMIT A DEMOLITION PLAN INDICATING THE SEQUENCE AND OPERATIONAL SEQUENCING FOR REVIEW AND ACCEPTANCE BY THE OWNER AND/OR AGENCY.

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**DESIGN ENGINEERS**

IN ASSOCIATION WITH

PROJECT TITLE: CITY OF SUN PRAIRIE

SHEET TITLE: DEMOLITION PLANS

PROJECT NUMBER: 2023402

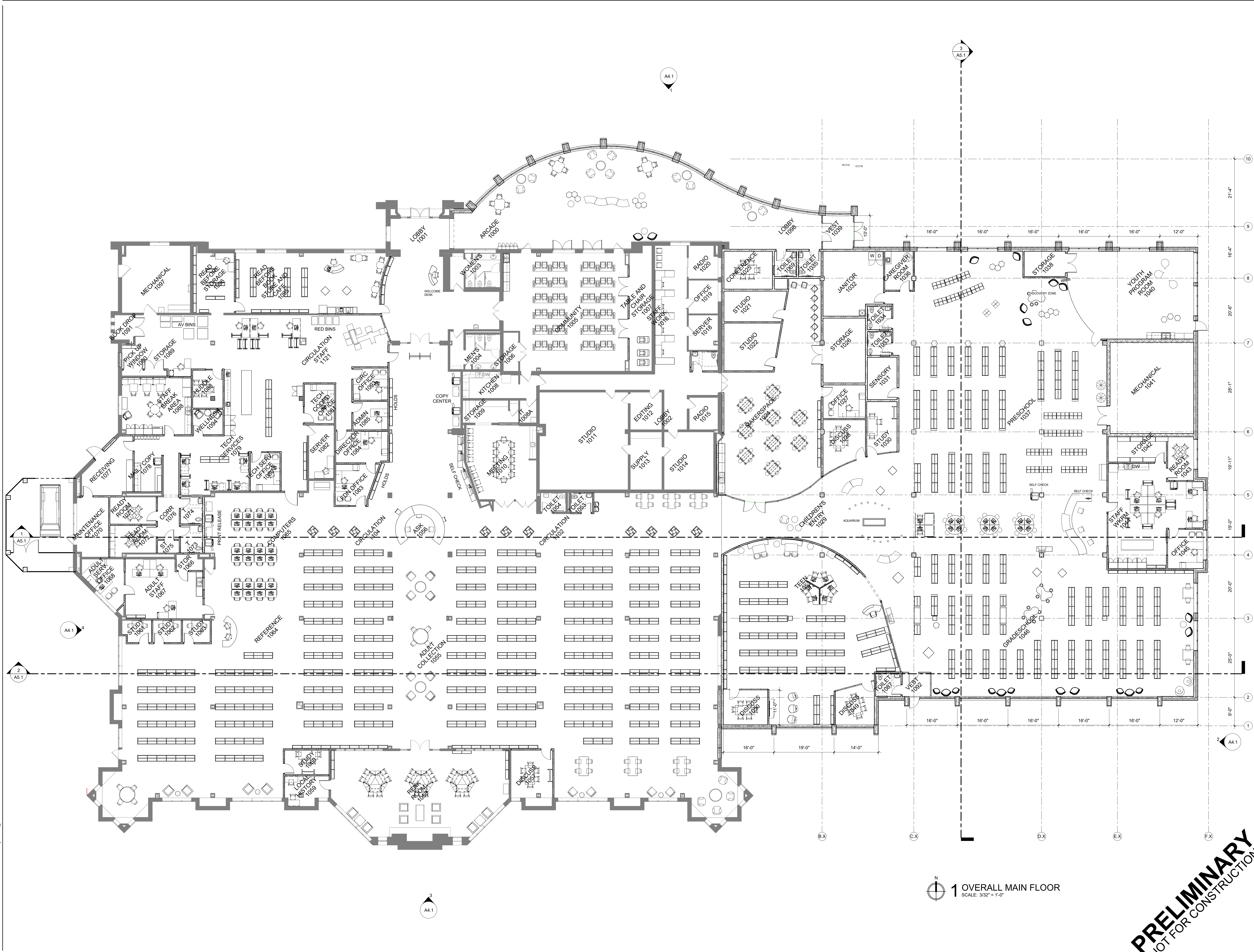
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REV. NO. DATE

PROJECT NUMBER: 2023402

SHEET: AD1.0





1 OVERALL MAIN FLOOR  
SCALE: 3/32" = 1'-0"

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PROJECT TITLE: CITY OF SUN PRAIRIE  
**SUN PRAIRIE PUBLIC LIBRARY  
 REMODEL AND ADDITION**  
 1350 LINNERUD DRIVE  
 SUN PRAIRIE, WI

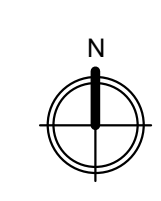
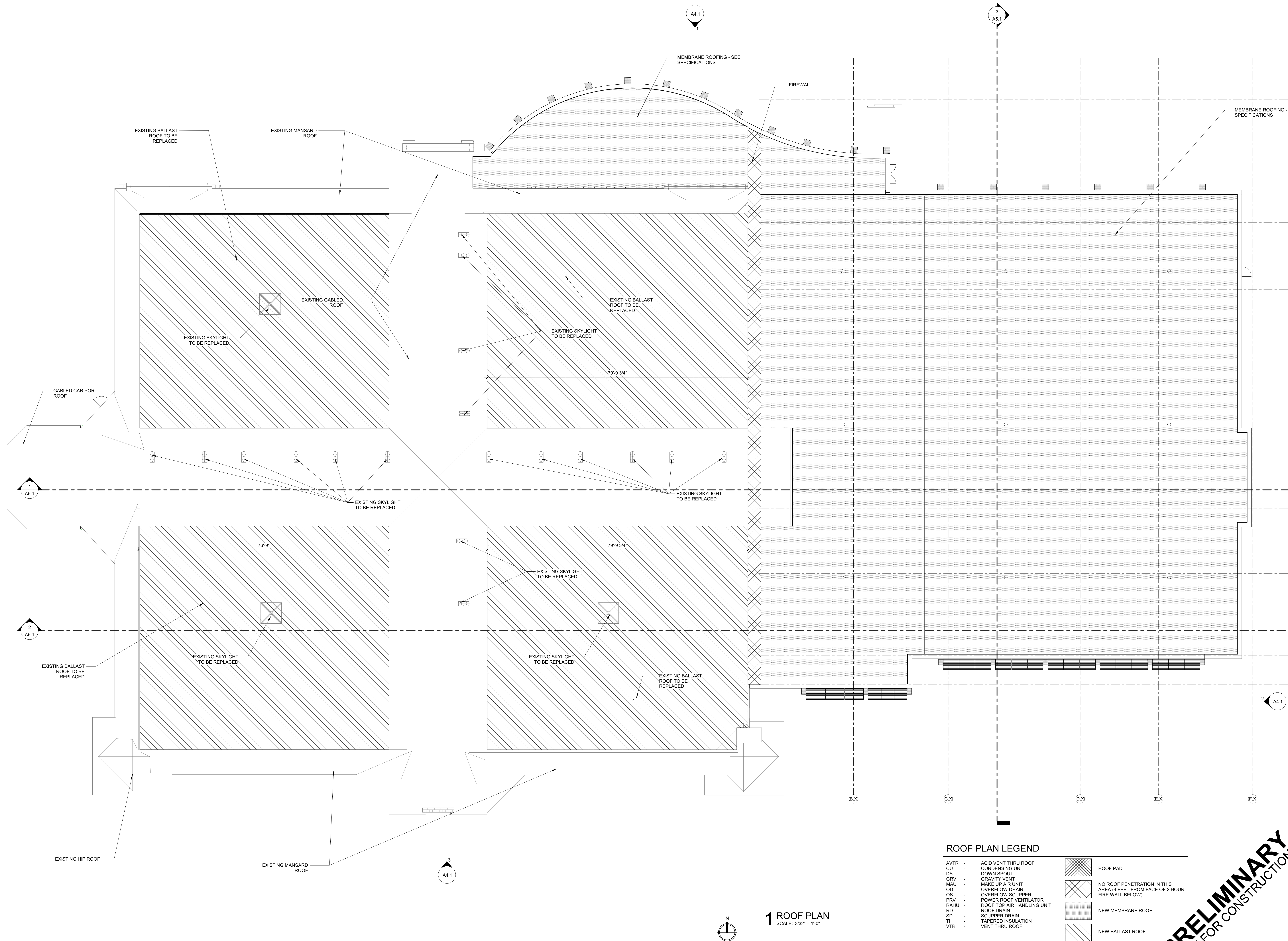
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**1 ROOF PLAN**  
SCALE: 3/32" = 1'-0"

**ROOF PLAN LEGEND**

AVTR	ACID VENT THRU ROOF		ROOF PAD
CU	CONDENSING UNIT		NO ROOF PENETRATION IN THIS AREA (4 FEET FROM FACE OF 2 HOUR FIRE WALL BELOW)
DS	DOWN SPOUT		NEW MEMBRANE ROOF
GRV	GRAVITY VENT		NEW BALLAST ROOF
MAU	MAKE UP AIR UNIT		
OD	OVERFLOW DRAIN		
OS	OVERFLOW SCUPPER		
PRV	POWER ROOF VENTILATOR		
RAHU	ROOF TOP AIR HANDLING UNIT		
RD	ROOF DRAIN		
SD	SCUPPER DRAIN		
TI	TAPERED INSULATION		
VTR	VENT THRU ROOF		

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ROOF PLAN

PROJECT TITLE CITY OF SUN PRAIRIE  
**SUN PRAIRIE PUBLIC LIBRARY  
REMODEL AND ADDITION**  
1350 LINNERUD DRIVE  
SUN PRAIRIE, WI

DATE ISSUED 08/29/2023  
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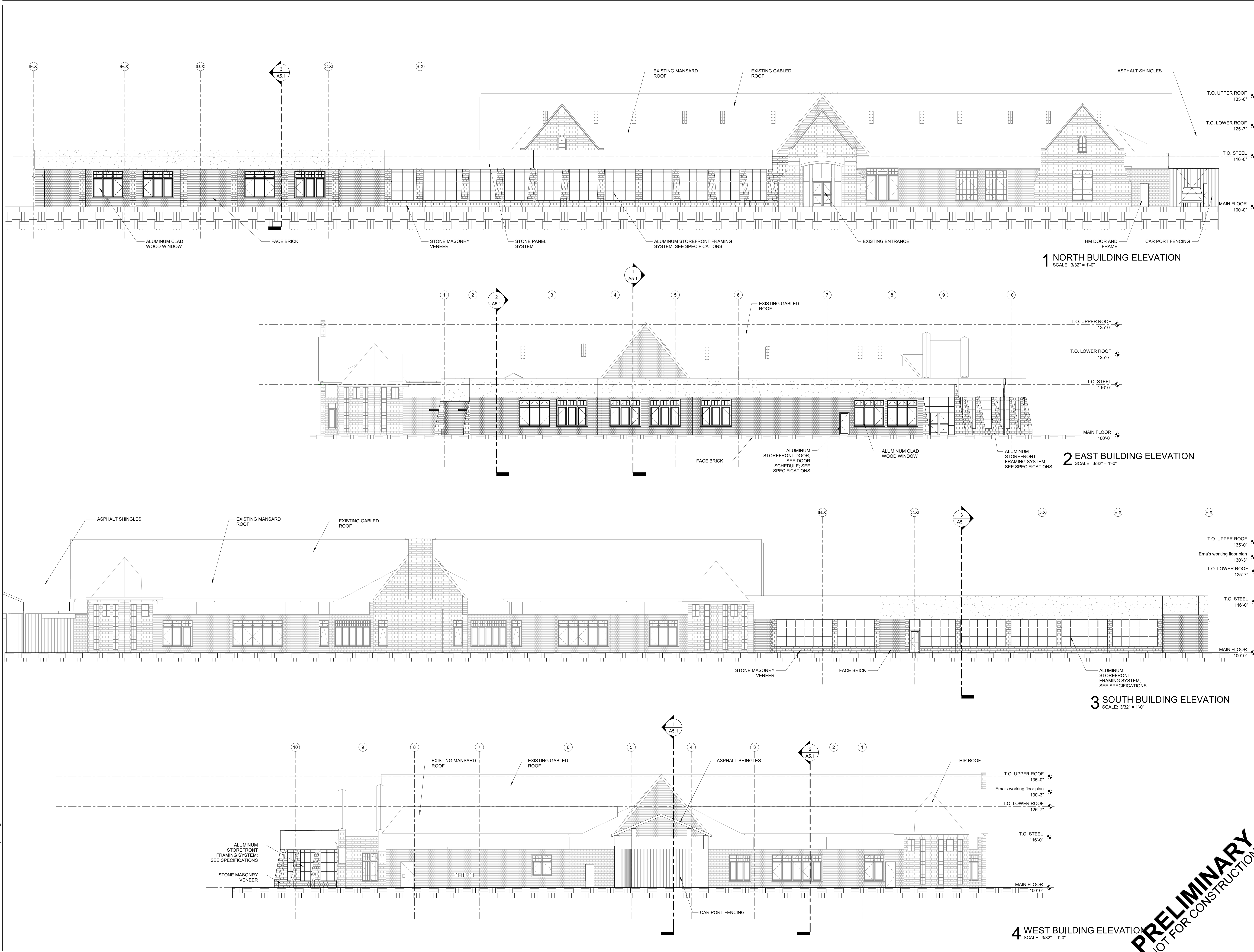
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**A2.1**

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**1 NORTH BUILDING ELEVATION**  
SCALE: 3/32" = 1'-0"

**2 EAST BUILDING ELEVATION**  
SCALE: 3/32" = 1'-0"

**3 SOUTH BUILDING ELEVATION**  
SCALE: 3/32" = 1'-0"

**4 WEST BUILDING ELEVATION**  
SCALE: 3/32" = 1'-0"

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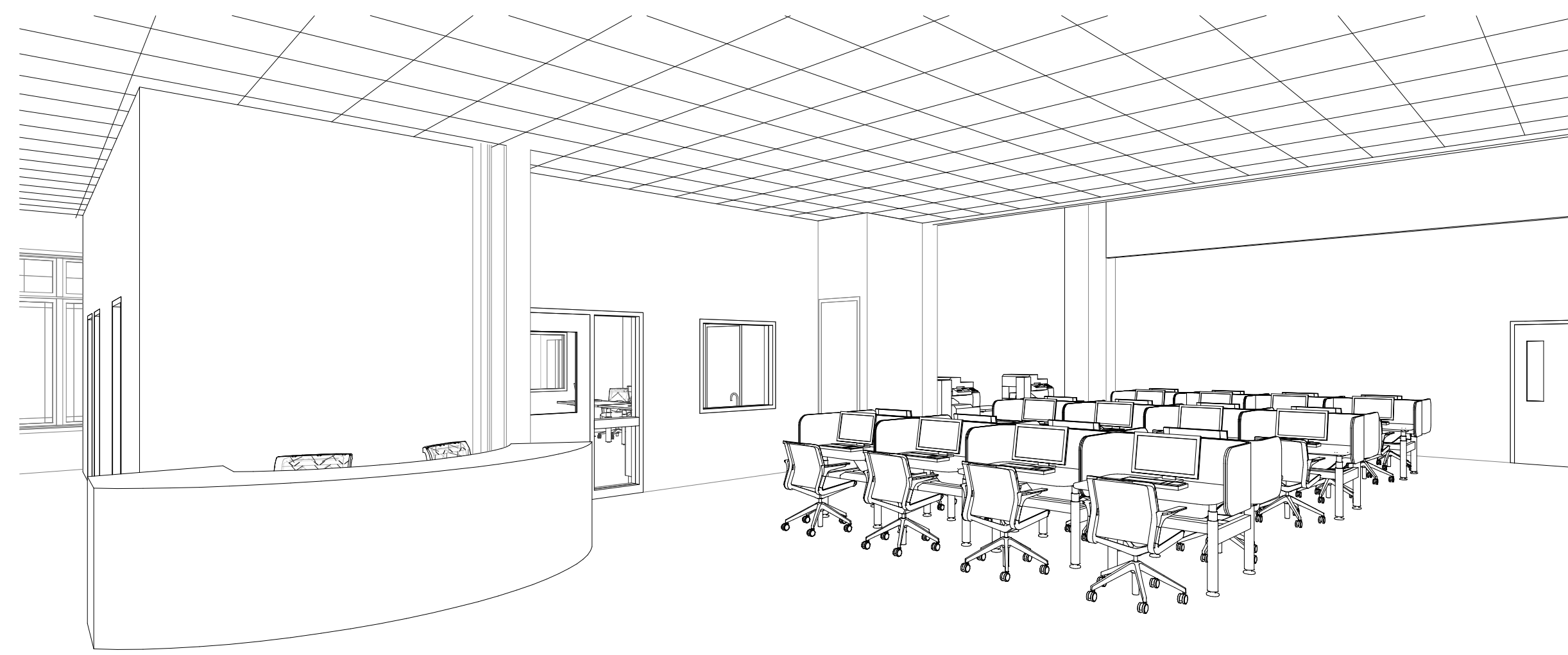
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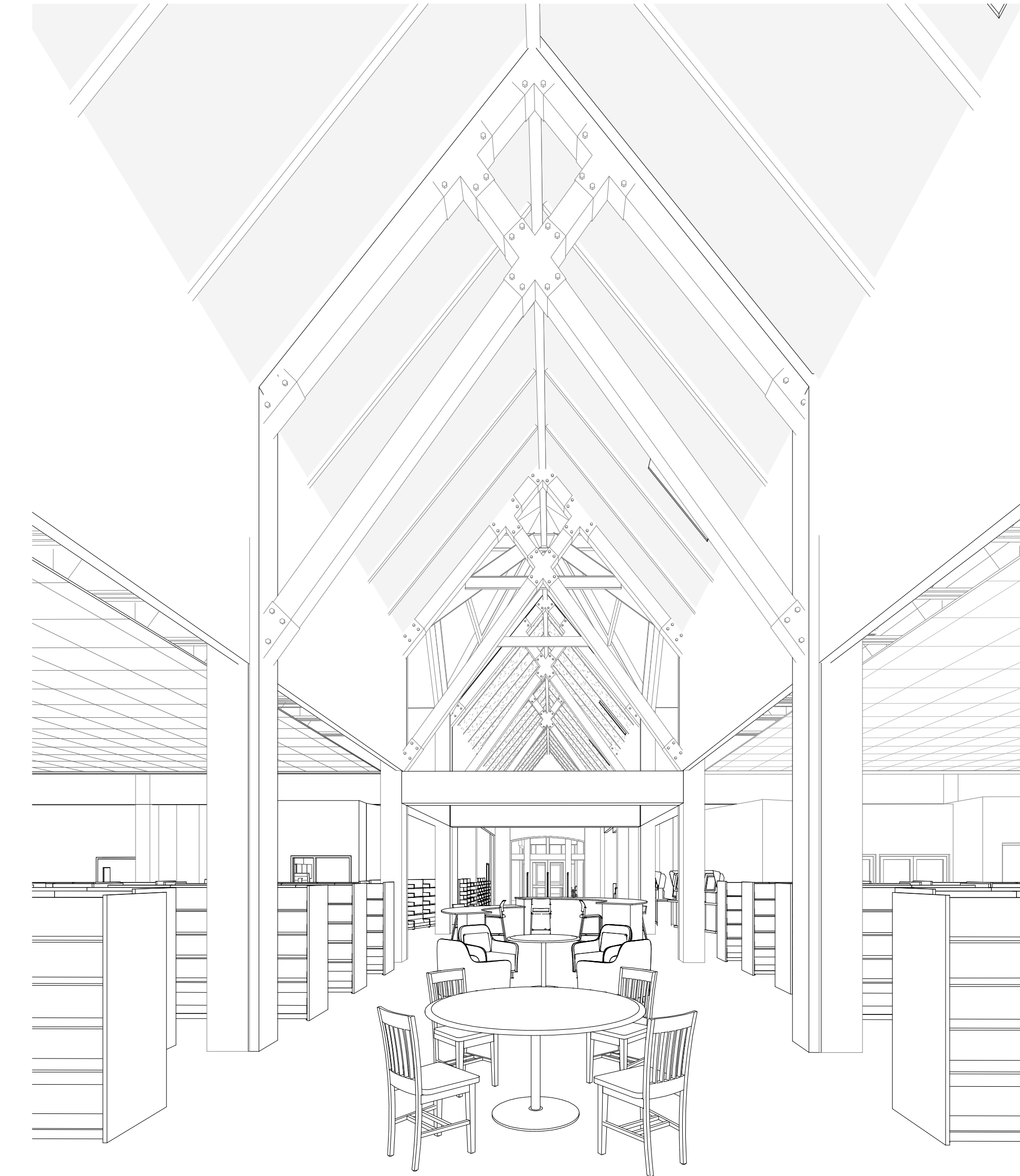
ATRIUM



VIEW FROM YOUTH ENTRANCE



COMPUTERS AND REFERENCE DESK



ADULT SEATING



YOUTH ENTRANCE



VIEW TOWARDS CHILDREN'S CIRC



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SHEET TITLE  
3D VIEWS

PROJECT TITLE CITY OF SUN PRAIRIE  
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1350 LINNERUD DRIVE  
SUN PRAIRIE, WI

DATE ISSUED 08/29/2023  
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A7.0

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### ADULT COLLECTIONS - SHELVING COUNTS

PRINT COLLECTIONS	NONPRINT COLLECTIONS
FICTION - 176/168 SF (60"H)	MUSIC CDS & VINYL - 22/18 SF (60"H)
MYSTERY - 44/36 SF (60"H)	AUDIOBOOKS - 30/30 SF (60"H)
SCIENCE FICTION - 16/16 SF (60"H)	DVDS/VIDEO - 56/50 SF (60"H)
PAPERBACK - 30/30 SF (60"H)	LIBRARY OF THINGS - 19 SF (60"H)
GRAPHIC NOVELS - 16/14 SF (60"H)	
WORLD LANGUAGES - 16/12 SF (60"H)	
LARGE PRINT - 62/58 SF (60"H)	
REFERENCE - 3/2 SF (60"H)	PERIODICALS & NEWSPAPERS
NONFICTION - 209/208 SF (60"H)	MAGAZINES - 19 SF 2H = 152 SUBS
READING CLUB KITS - 18/14 SF (60"H)	NEWSPAPERS - 2 SF 2H = 12 SUBS
LOCAL - 6/4 SF 4/5H (60"H)	

### CHILDREN'S COLLECTIONS - SHELVING COUNTS

PRESCHOOL COLLECTIONS	HUB (NONPRINT)
BOARD BOOKS - 7/6 DF BINS	PARENTING - 2/2 SF (60"H)
PICTURE BOOKS - 84/80 SF (42"H)	KITS (HANGING BAGS) - 14/14 SF (60"H)
PICTURE BOOK NEIGHBORHOODS - 14/14 DF BINS	AUDIO-ENABLED BOOKS - 9/8 (60"H)
EARLY READERS - 30/28 SF (42"H)	MUSIC CDS - 4/4 SF (60"H)
	AUDIOBOOKS - 16/16 SF (60"H)
	DVD/VIDEO - 18/18 SF (60"H)
GRADE SCHOOL COLLECTIONS	SOFTWARE/VIDEO GAMES - 9/8 SF (60"H)
TRANSITIONAL CHAP BKS - 26/24 SF (60"H)	BIG KID KITS - 8/6 SF (60"H)
FICTION - 54/54 SF (60"H)	
COMIC BOOKS - 6/6 SF (60"H)	
GRAPHIC NOVELS - 19/18 SF (60"H)	
NONFICTION - 76/68 SF (60"H)	
WORLD LANGUAGES - 4/4 SF (60"H)	

1 FURNITURE PLAN  
SCALE: 3/32" = 1'-0"

**PRELIMINARY**  
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PROJECT TITLE: CITY OF SUN PRAIRIE  
**SUN PRAIRIE PUBLIC LIBRARY  
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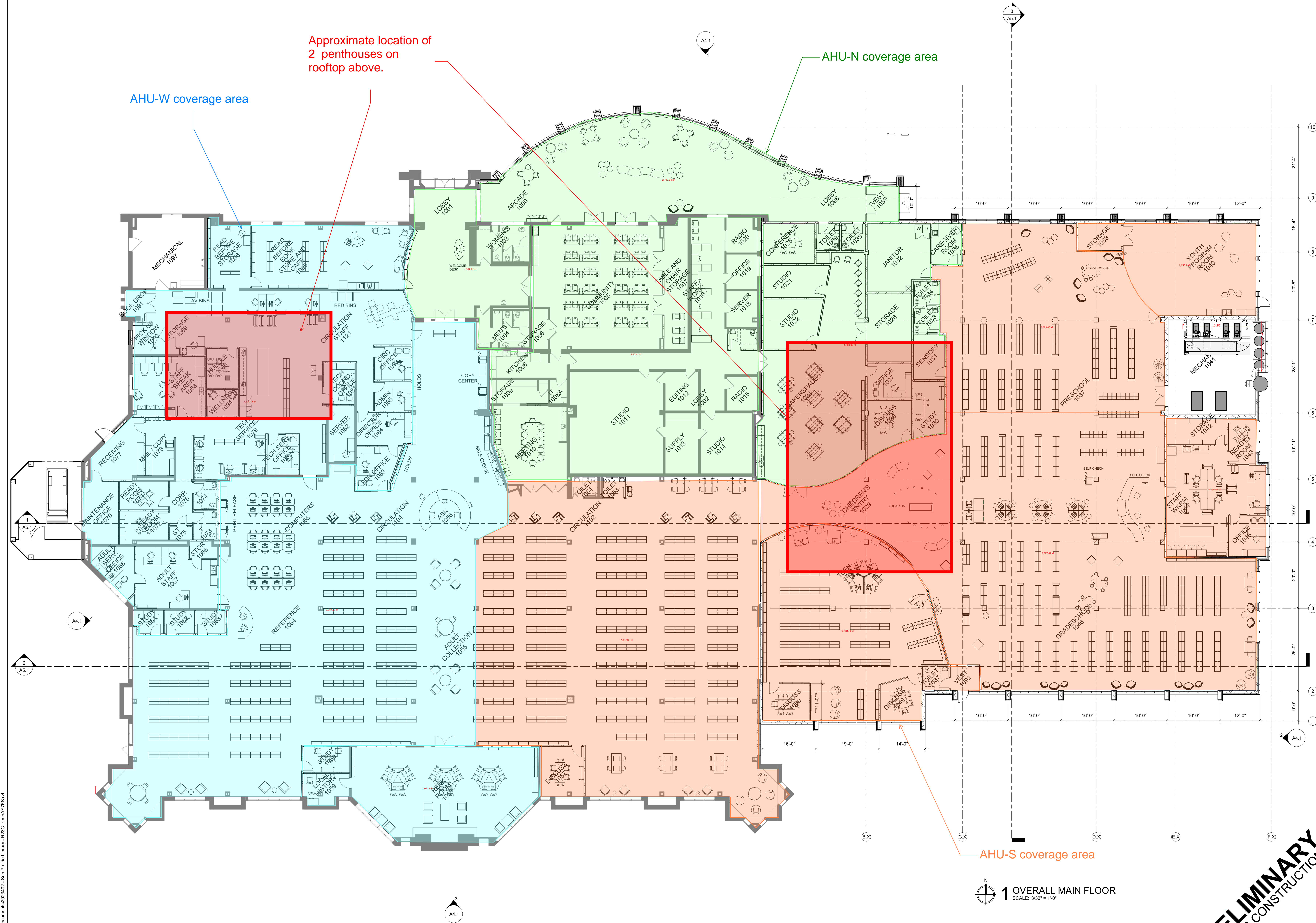
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8/29/2023 12:33:28 PM



AHU-W coverage area

Approximate location of 2 penthouses on rooftop above.

AHU-N coverage area

AHU-S coverage area

1 OVERALL MAIN FLOOR  
SCALE: 3/32" = 1'-0"

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**CONTACT:**

**FEH DESIGN**

1241 CORPORATE CENTER DRIVE

OCONOMOWOC, WI 53066

262 968 2055

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